

|  |
|--|
| TABLE:   |
| SITE AREA - 512.2SQM                                 |
| ALLOWED:   |
| MIN SUBDIVISION - 250SQM                             |
| TOTAL FSR - 256.1SQM                                 |
| EACH UNIT - 128.0SQM                                 |
| P.O.S - 80SQM  |
| TOTAL LANDSCAPE 45% - 230.49SQM                      |
| TOTAL ACHIEVED:                                      |
| TOTAL FSR COMBINED (NOT INCLUDING GARAGE) - 242.0SQM |
| LANDSCAPING - 265.5SQM                               |
| ACHIEVED:  |
| UNIT 1 - 258.1SQM                                    |
| GROUND FLOOR (INCLUDING GARAGE) - 75.5SQM            |
| UPPER FLOOR - 63.0SQM                                |
| TOTAL AREA - 138.5SQM                                |
| P.O.S - 80SQM  |
| LANDSCAPE AREA - 132.2SQM                            |
| UNIT 2 - 258.1SQM                                    |
| GROUND FLOOR (INCLUDING GARAGE) - 76.0SQM            |
| UPPER FLOOR - 63.5SQM                                |
| TOTAL AREA - 139.5SQM                                |
| P.O.S - 80SQM  |
| LANDSCAPE AREA - 133.1SQM                            |

IMPORTANT NOTE:  
ALL DIMENSIONS AND NOTES ON ALL PLANS MUST BE CHECKED AND VERIFIED BY BUILDER AND / OR OWNER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS TO CLARIFY AND CONFIRM WITH DVYNE DESIGN P/L ANY DISCREPANCIES ON ALL DOCUMENTS AND PLANS PROVIDED FOR CONSTRUCTION. ANY WORK INDICATED ON THE PLAN BUT NOT IN THE SPECIFICATION OR VICE VERSA, AND ANY ITEM NOT SHOWN IN EITHER PLAN OR SPECIFICATION BUT WHICH IS OBVIOUSLY NECESSARY AS PART OF PROPER CONSTRUCTION AND / OR FINISH IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS TO PLANS SPECIFICATIONS MAY NOT BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER. IT IS THE RESPONSIBILITY OF THE BUILDER / END USER TO VERIFY PLANS AND SPECIFICATIONS AS TO THEIR ACCURACY AND SUITABILITY AND ALL SITE WORKS MUST COMPLY WITH CURRENT BCA AND AUSTRALIAN STANDARDS

## SITE AND SEDIMENT CONTROL PLAN SCALE 1:100

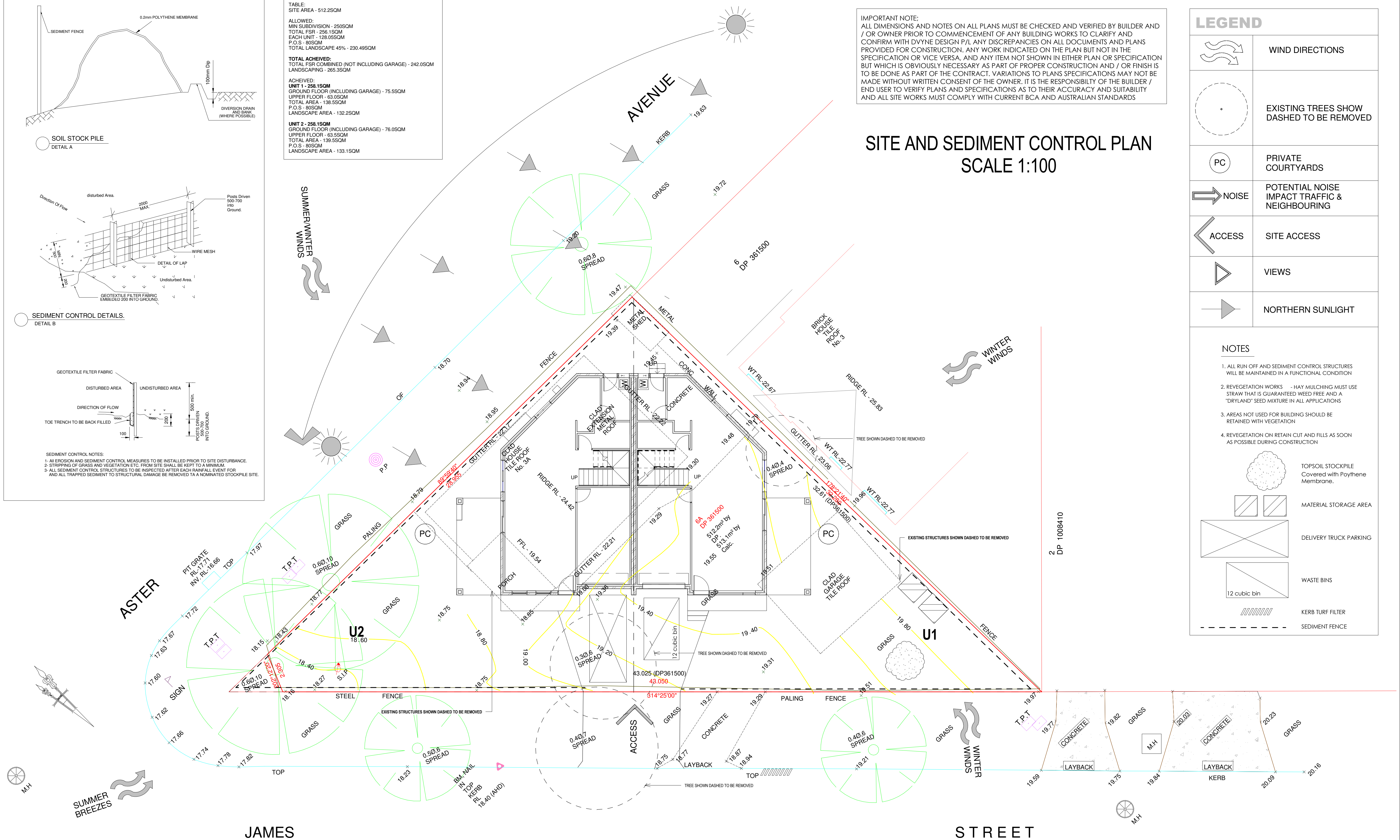
### LEGEND

|  |   |
|--|---|
|  | WIND DIRECTIONS                               |
|  | EXISTING TREES SHOW DASHED TO BE REMOVED      |
|  | PRIVATE COURTYARDS                            |
|  | POTENTIAL NOISE IMPACT TRAFFIC & NEIGHBOURING |
|  | SITE ACCESS                                   |
|  | VIEWS   |
|  | NORTHERN SUNLIGHT                             |

### NOTES

1. ALL RUN OFF AND SEDIMENT CONTROL STRUCTURES WILL BE MAINTAINED IN A FUNCTIONAL CONDITION
2. REVEGETATION WORKS - HAY MULCHING MUST USE STRAW THAT IS GUARANTEED WEED FREE AND A "DRYLAND" SEED MIXTURE IN ALL APPLICATIONS
3. AREAS NOT USED FOR BUILDING SHOULD BE RETAINED WITH VEGETATION
4. REVEGETATION ON RETAIN CUT AND FILLS AS SOON AS POSSIBLE DURING CONSTRUCTION

|  |   |
|--|---|
|  | TOPSOIL STOCKPILE<br>Covered with Polythene Membrane. |
|  | MATERIAL STORAGE AREA                                 |
|  | DELIVERY TRUCK PARKING                                |
|  | WASTE BINS<br>12 cubic bin                            |
|  | KERB TURF FILTER                                      |
|  | SEDIMENT FENCE  |



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**dvyne design**

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Design Practitioner Registration No. DEP0001985

**ACCREDITED  
BUILDING DESIGNER**

**JOB DESCRIPTION**

PROPOSED ATTACHED DUAL  
OCCUPANCY

AT

3A ASTER AVE, PUNCHBOWL

**DRAWING TITLE**

SITE & SEDIMENT CONTROL  
PLAN

**CLIENT DETAILS**

HASSAN KAMMOUN

**GENERAL NOTES**

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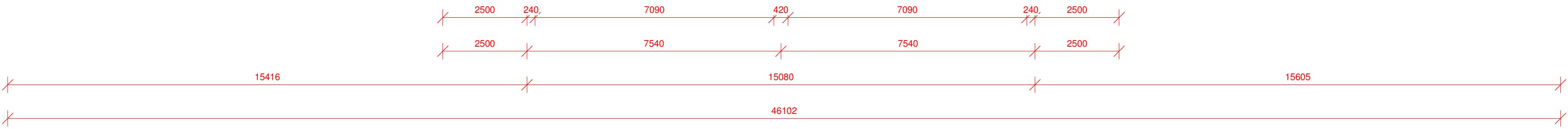
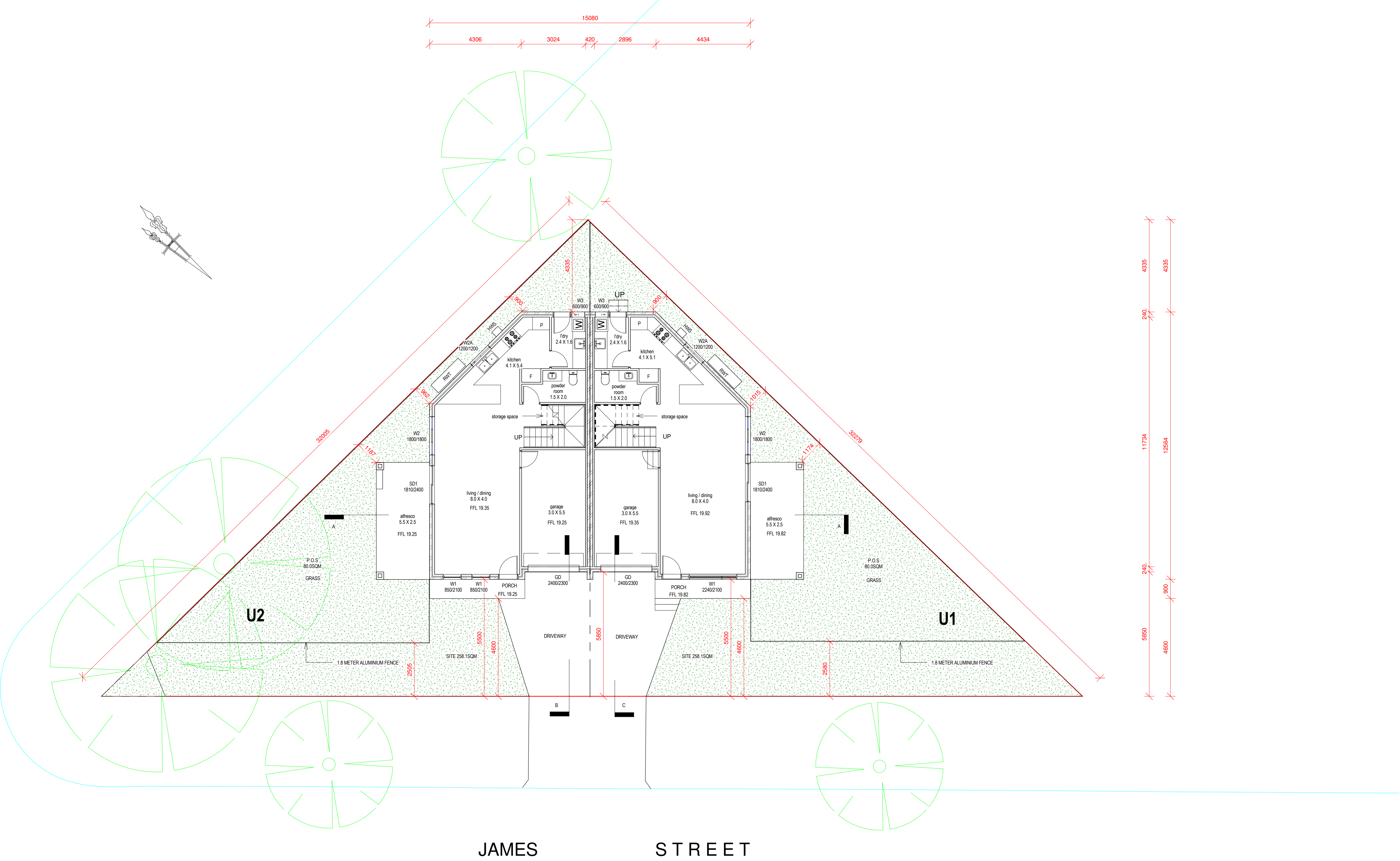
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|---------------|----------|-------|-----------------------|-----|--------|
| DATE          | SEP.22   | A     | DA COUNCIL SUBMISSION | P.P | SEP.22 |
| CHECKED       | P.PERRAS |       |                       |     |        |
| SCALE         | 1:100    |       |                       |     |        |
| JOB NUMBER    | 2257-00  |       |                       |     |        |
| NUMBER IN SET | 01       |       |                       |     |        |
| ISSUE         | A        |       |                       |     |        |



GROUND FLOOR PLAN  
SCALE 1:100



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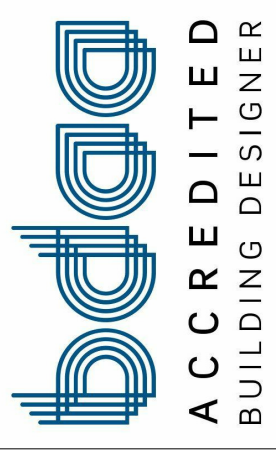
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3A ASTER AVE, PUNCHBOWL

**DRAWING TITLE**

GROUND FLOOR PLAN

**CLIENT DETAILS**

HASSAN KAMMOUN

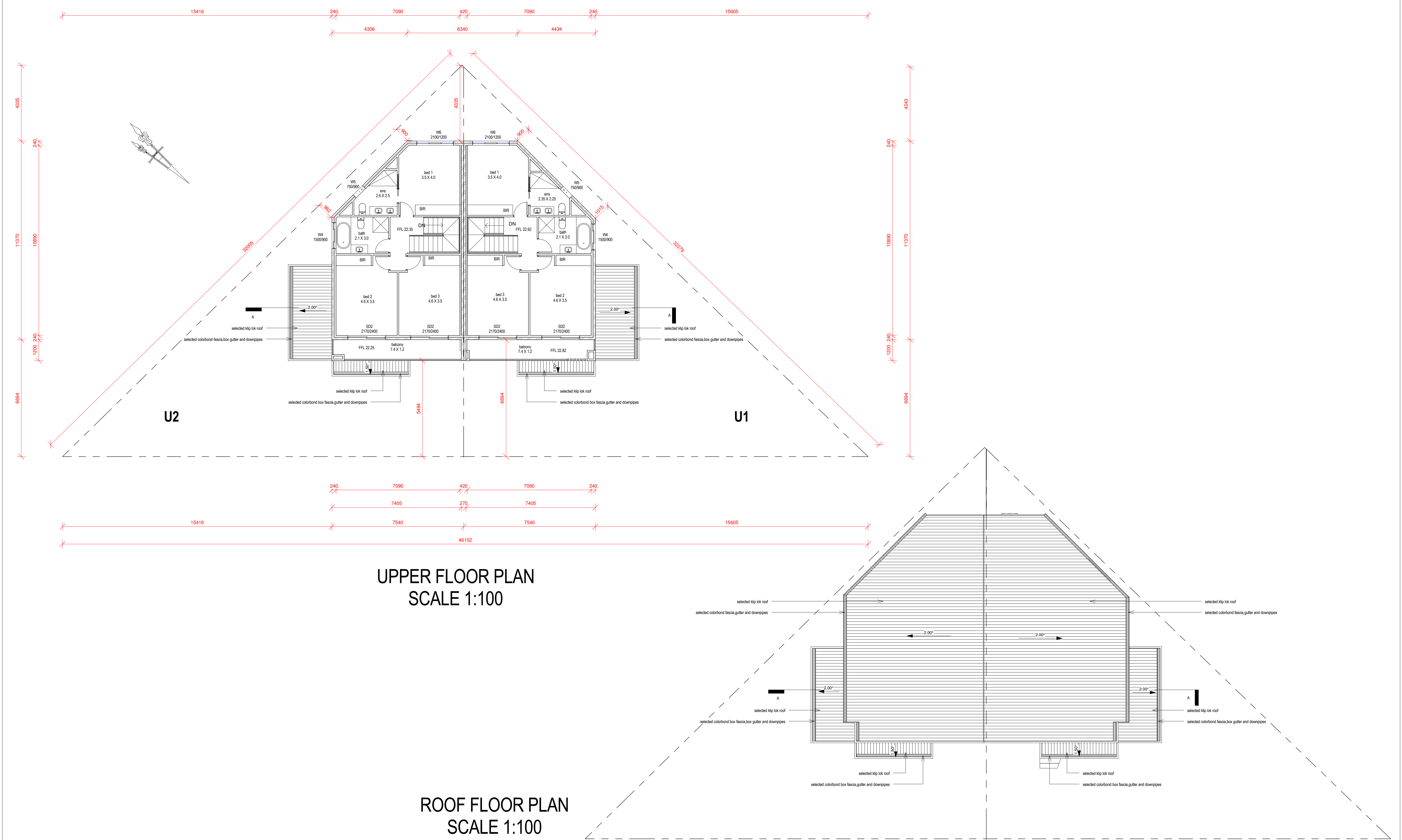
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| JOB NUMBER    | 2257-00  |       |               |     |        |
| NUMBER IN SET | 02       |       |               |     |        |
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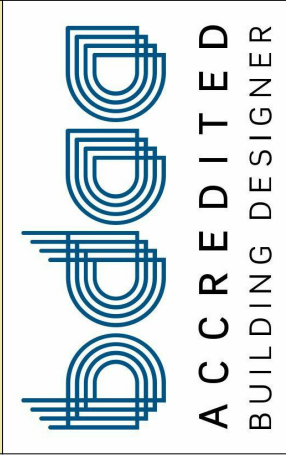


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**JOB DESCRIPTION**

PROPOSED ATTACHED DUAL  
OCCUPANCY

AT

3A ASTER AVE, PUNCHBOWL

**DRAWING TITLE**

UPPER FLOOR PLAN AND ROOF  
PLAN

**CLIENT DETAILS**

HASSAN KAMMOUN

**GENERAL NOTES**

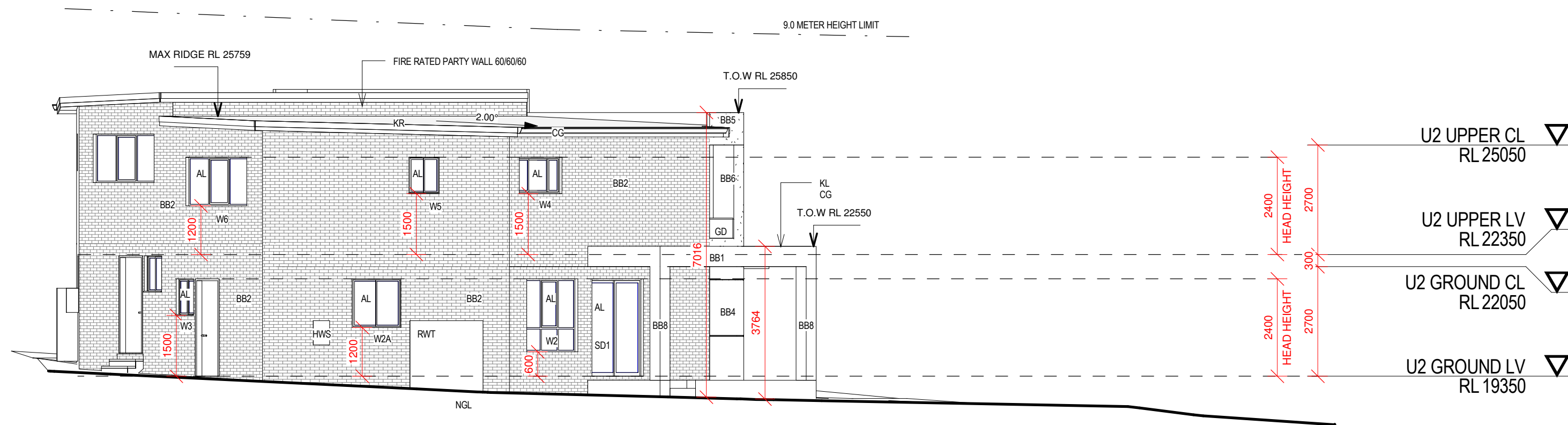
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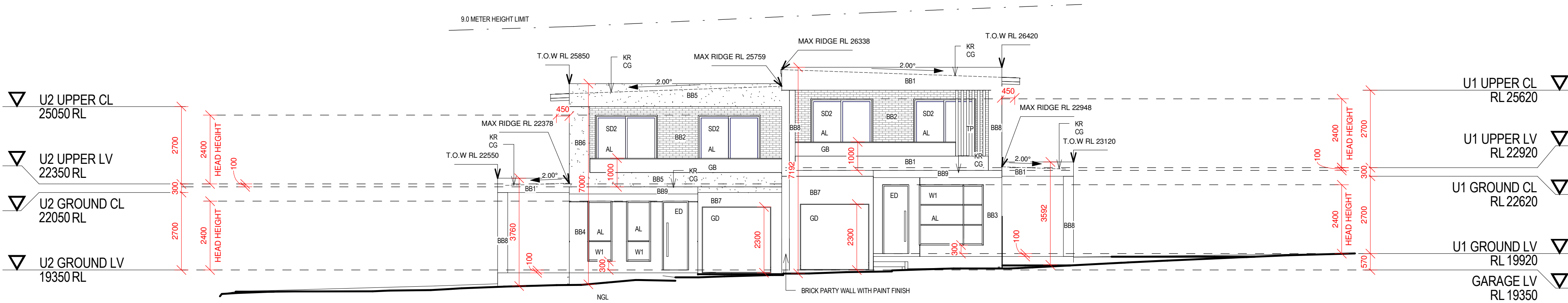


SOUTH EAST ELEVATION  
SCALE 1:100

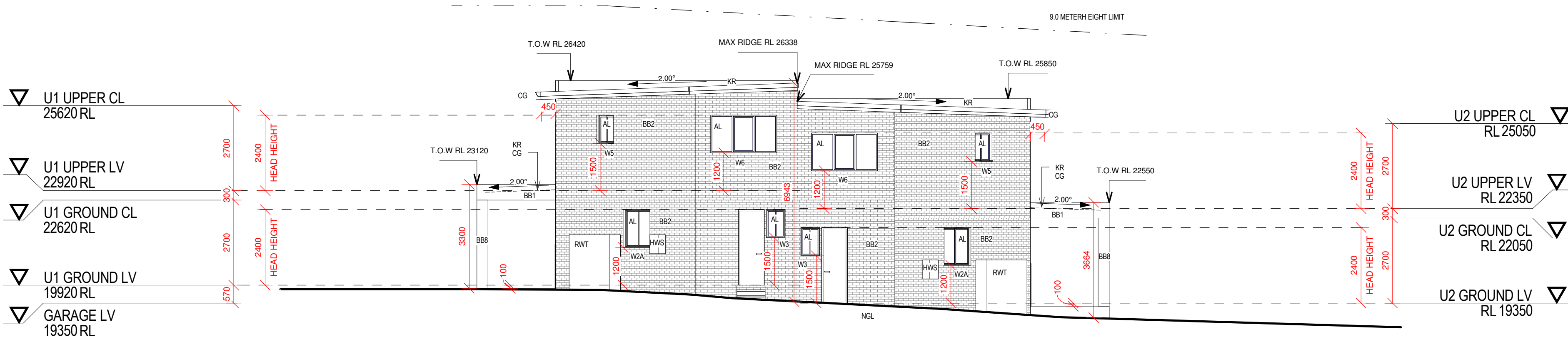


NORTH WEST ELEVATION  
SCALE 1:100

- LEGENDS**
- KR - SELECTED KLIP LOK ROOF
  - CG - COLORBOND FASCIA, GUTTER & DOWNPIPES, BOX GUTTER
  - BB1 - SELECTED BLUEBOARD WALL TO BE RENDERED AND PAINT FINISH
  - BB2 - SELECTED BRICK VENEER WALL TO BE EXPOSED FACE BRICK
  - BB3 - SELECTED BRICK VENEER WALL TO BE RENDERED AND PAINT FINISH
  - BB4 - SELECTED BRICK VENEER WALL TO BE RENDERED AND PAINT FINISH
  - BB5 - SELECTED BLUEBOARD WALL TO BE RENDERED AND PAINT FINISH
  - BB6 - SELECTED TIMBER COLUMN TO BE PAINT FINISH
  - BB7 - SELECTED BRICK WALL TO BE TIMBER CLADDED WITH GARAGE DOOR
  - BB8 - SELECTED TIMBER COLUMN WITH PAINT FINISH
  - BB9 - SELECTED BLUEBOARD WALL TO BE RENDERED AND PAINT FINISH
  - NGL - NATURAL GROUND LINE
  - RWT - RAINWATER TANK
  - HWS - HOT WATER SYSTEM
  - ED - ENTRY DOOR
  - AL - ALUMINIUM FRAME WINDOWS AND SLIDING GLASS DOORS
  - GD - GARAGE PANEL LIFT DOOR TO BE TIMBER CLADDED SIMILAR DOOR
  - GB - GLASS BALUSTRADE
  - TP - SELECTED TIMBER POST WITH PAINT FINISH



SOUTH WEST ELEVATION  
SCALE 1:100



NORTH EAST ELEVATION  
SCALE 1:100

PLANS BY...

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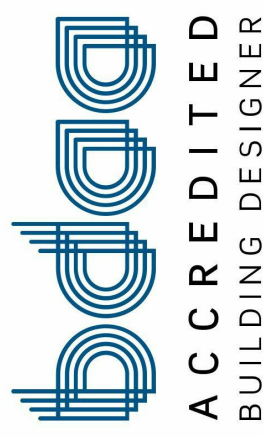
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**JOB DESCRIPTION**

PROPOSED ATTACHED DUAL  
OCCUPANCY

AT

3A ASTER AVE, PUNCHBOWL

**DRAWING TITLE**

ELEVATIONS

**CLIENT DETAILS**

HASSAN KAMMOUN

**GENERAL NOTES**

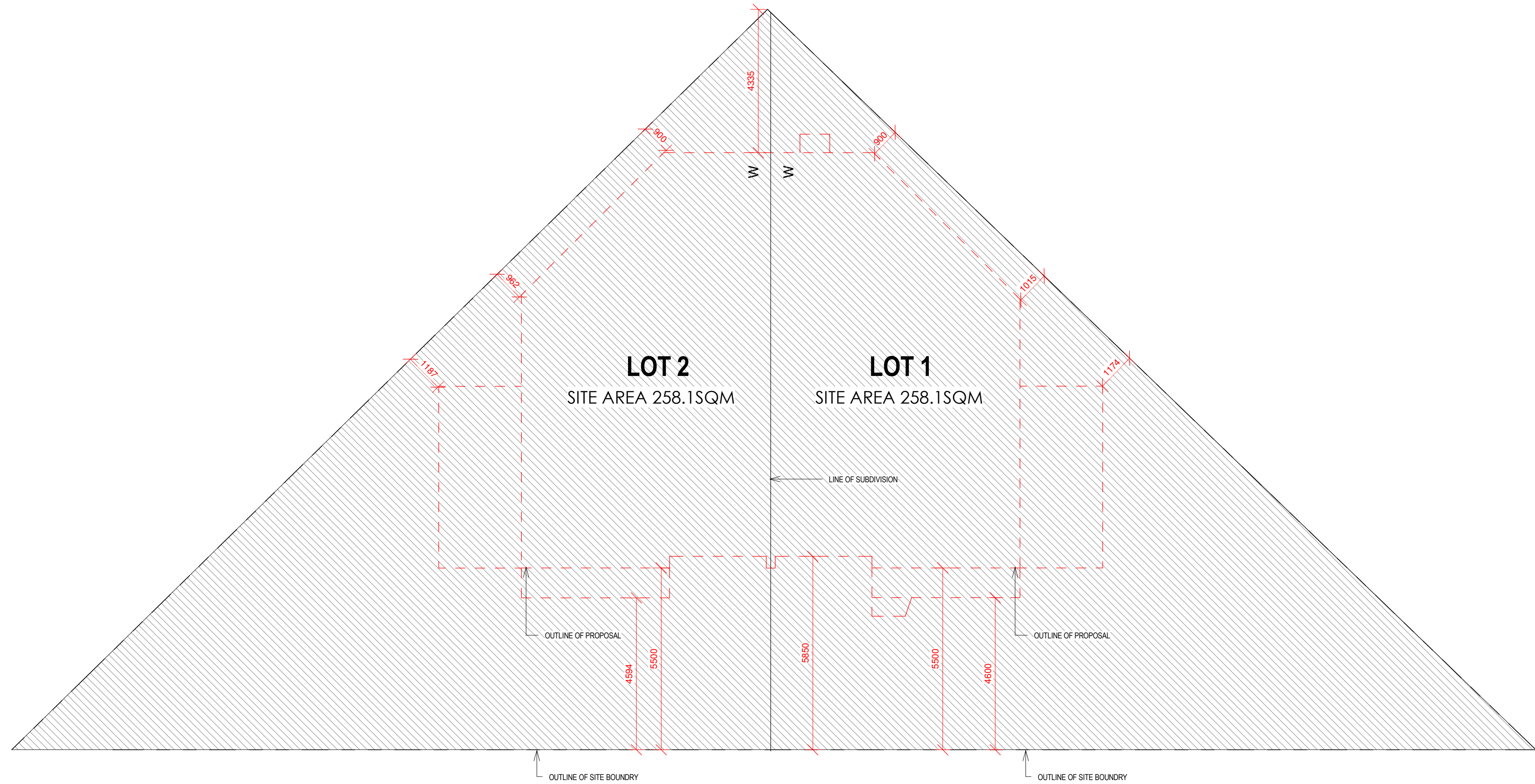
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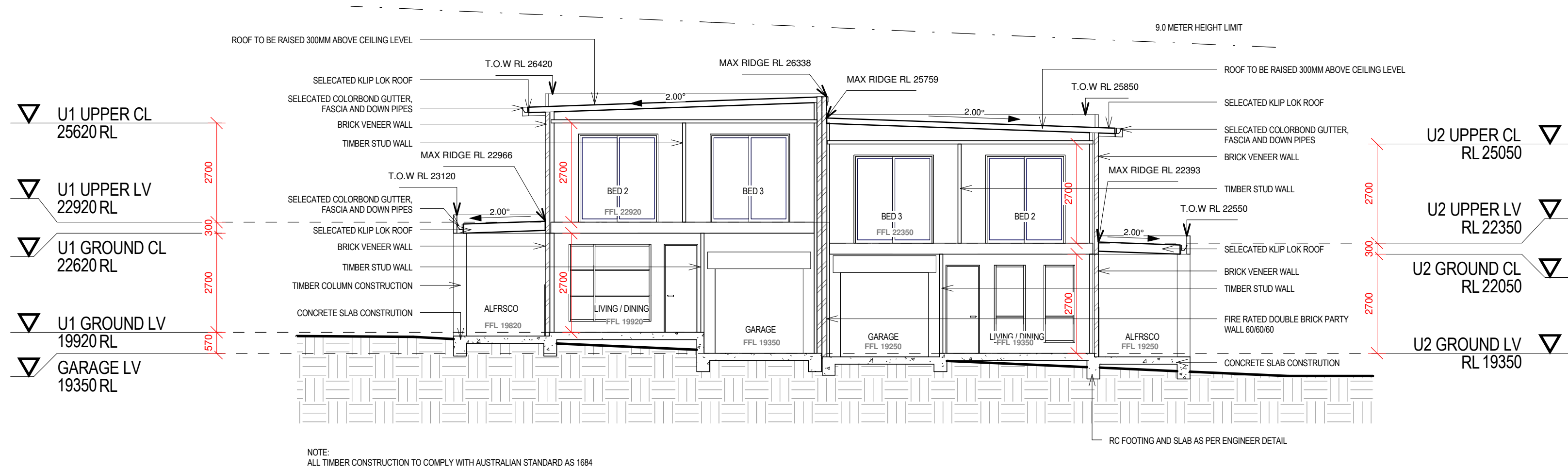
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| CHECKED       | P.PERRAS |       |               |     |        |
| SCALE         | 1:100    |       |               |     |        |
| JOB NUMBER    | 2257-00  |       |               |     |        |
| NUMBER IN SET | 04       |       |               |     |        |
| ISSUE         | A        |       |               |     |        |

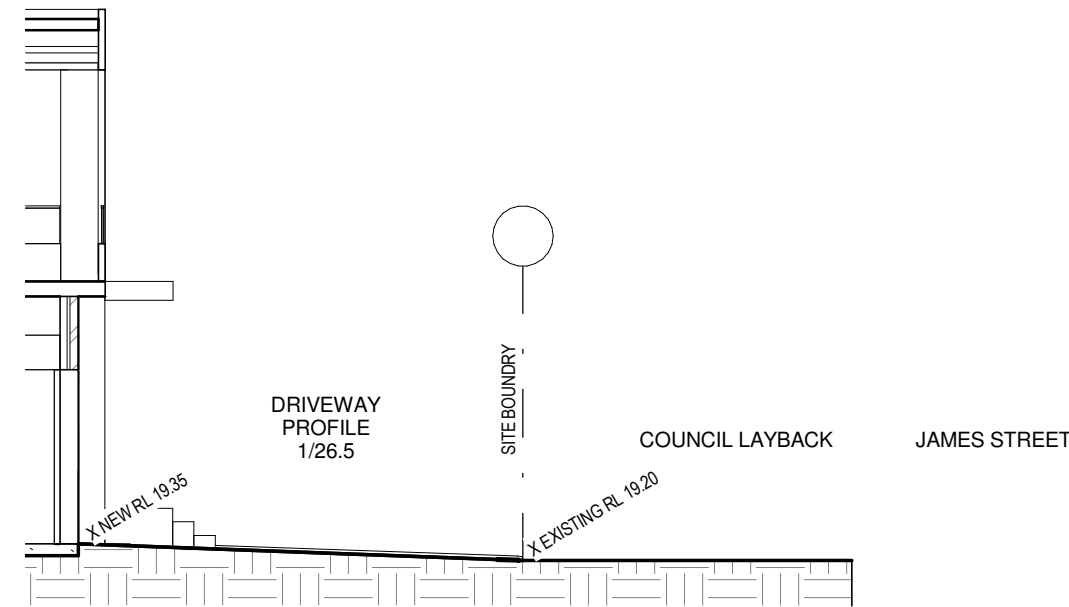




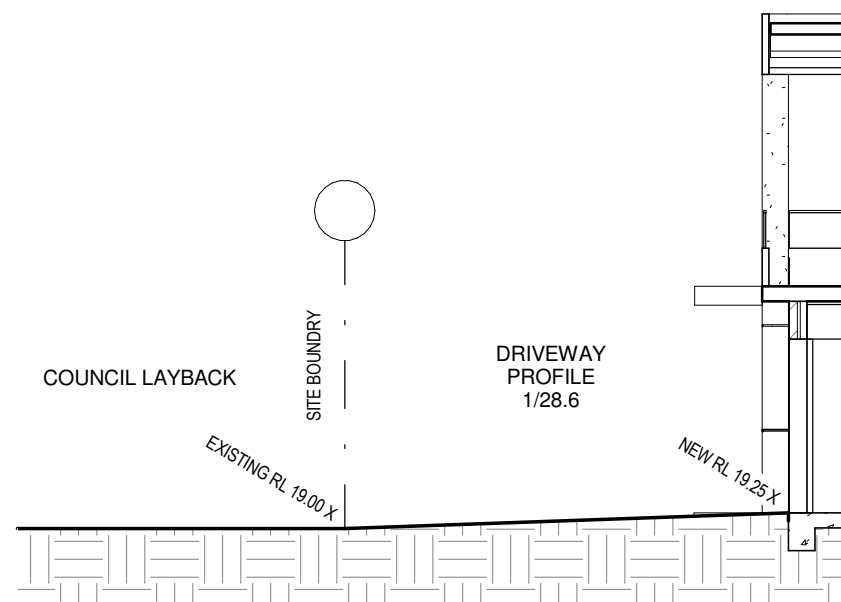
SUBDIVISION  
SCALE 1:100



SECTION AA  
SCALE 1:100



UNIT 1 - DRIVEWAY SECTION  
SCALE 1:100



UNIT 2 - DRIVEWAY SECTION  
SCALE 1:100

PLANS BY...  
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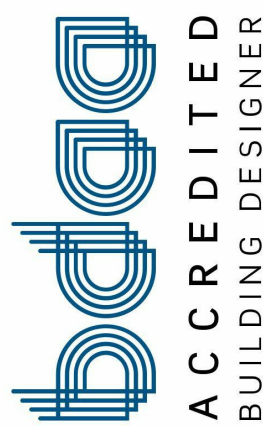
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OCCUPANCY

AT

3A ASTER AVE, PUNCHBOWL

**DRAWING TITLE**

SUBDIVISION AND SECTION AA

**CLIENT DETAILS**

HASSAN KAMMOUN

**GENERAL NOTES**

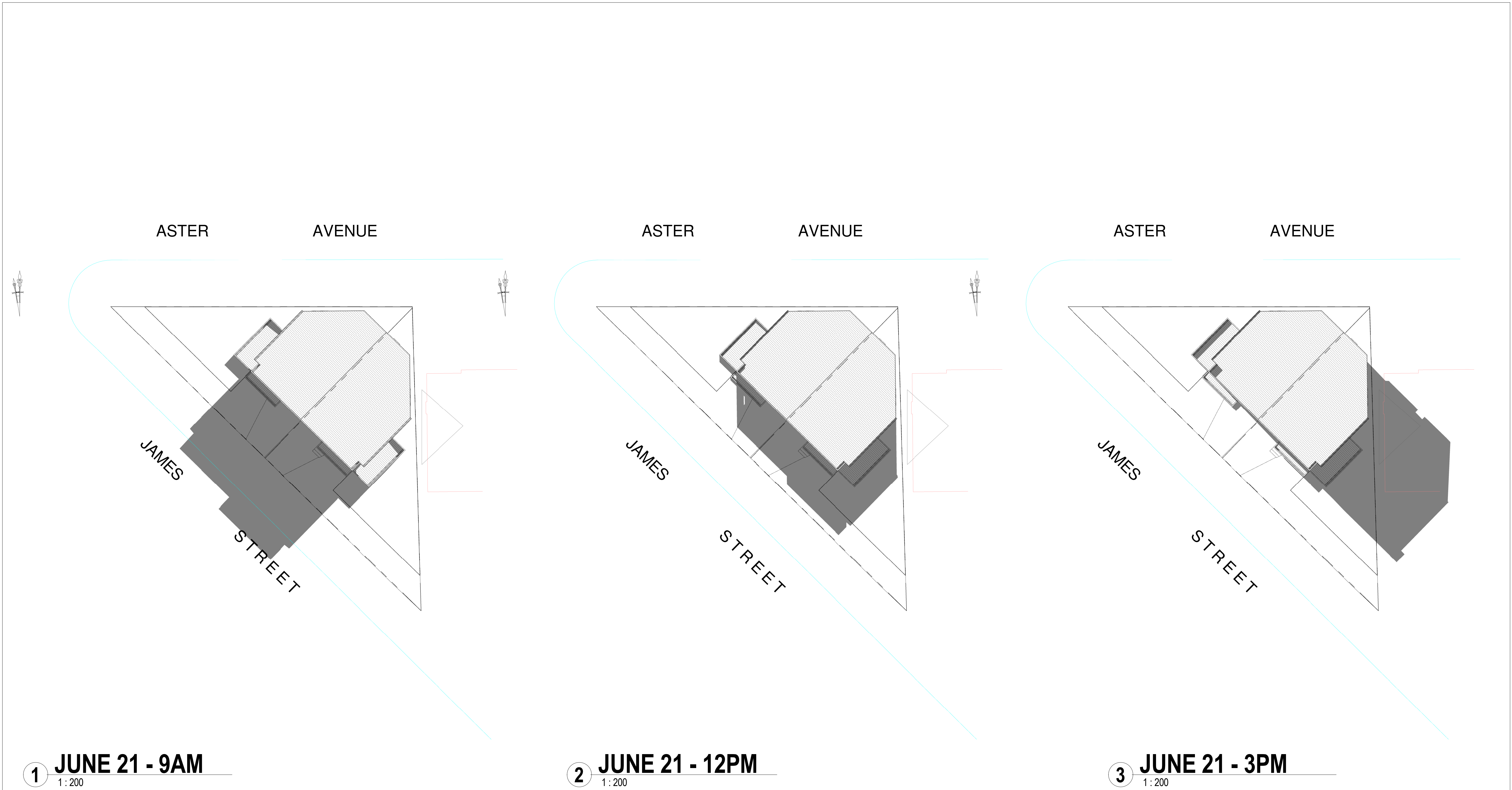
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| SCALE         | 1:100    |       |               |     |        |
| JOB NUMBER    | 2257-00  |       |               |     |        |
| NUMBER IN SET | 05       |       |               |     |        |
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ACCREDITED  
BUILDING DESIGNER

JOB DESCRIPTION

PROPOSED ATTACHED DUAL  
OCCUPANCY

AT  
3A ASTER AVE, PUNCHBOWL

DRAWING TITLE

SHADOW DIAGRAMS

CLIENT DETAILS

HASSAN KAMMOUN

GENERAL NOTES

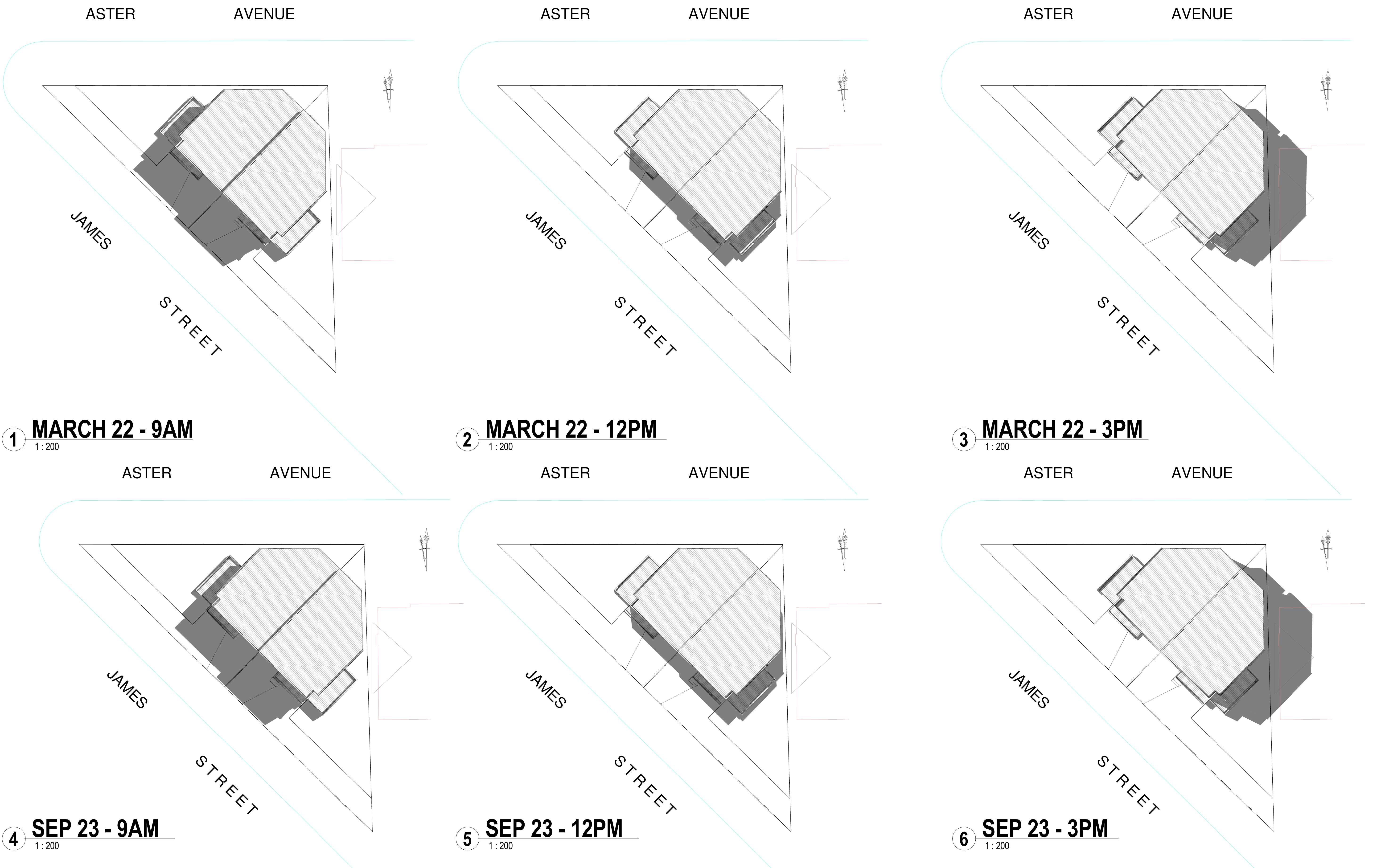
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| JOB NUMBER    | 2257-00  |       |               |     |        |
| NUMBER IN SET | 06       |       |               |     |        |
| ISSUE         | A        |       |               |     |        |





1 **MARCH 22 - 9AM**  
1:200

2 **MARCH 22 - 12PM**  
1:200

3 **MARCH 22 - 3PM**  
1:200

4 **SEP 23 - 9AM**  
1:200

5 **SEP 23 - 12PM**  
1:200

6 **SEP 23 - 3PM**  
1:200



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| JOB NUMBER    | 2257-00  |       |               |     |        |
| NUMBER IN SET | 07       |       |               |     |        |
| ISSUE         | A        |       |               |     |        |



## UNIT 1

### BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

#### Single Dwelling

Certificate number: 13187325

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the specifications set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Wednesday, 22 June 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project summary           |                               |             |  |
|---------------------------|-------------------------------|-------------|--|
| Project name              | 22-047 UNIT 1                 |             |  |
| Street address            | 100 The Avenue Bankstown 2000 |             |  |
| Local Government Area     | Canterbury-Bankstown Council  |             |  |
| Plan type and plan number | Deposited Plan 61439          |             |  |
| Lot no.                   | C                             |             |  |
| Section no.               | -                             |             |  |
| Project type              | attached dwelling house       |             |  |
| No. of bedrooms           | 4                             |             |  |
| Project score             |                               |             |  |
| Water                     | 40                            | Target 40   |  |
| Thermal Comfort           | Pass                          | Target Pass |  |
| Energy                    | 50                            | Target 50   |  |

| Certificate Prepared by |                   |
|-------------------------|-------------------|
| Name / Company Name:    | Five Star NETHERS |
| ABN (if applicable):    | 25033080585       |

BASIX Planning, Industry & Environment [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au) Version: 3.0 / DARWINIA\_3\_20\_0 Certificate No.: 13187325 Wednesday, 29 June 2022 page 1/9

### Description of project

| Project address                                 |                               |
|---|-------------------------------|
| Project name                                    | 22-047 UNIT 1                 |
| Street address                                  | 100 The Avenue Bankstown 2000 |
| Local Government Area                           | Canterbury-Bankstown Council  |
| Plan type and plan number                       | Deposited Plan 61439          |
| Lot no.   | C                             |
| Section no.                                     | -                             |
| Project type                                    |                               |
| Project type                                    | attached dwelling house       |
| No. of bedrooms                                 | 4                             |
| Site details                                    |                               |
| Site area (m <sup>2</sup> )                     | 319                           |
| Roof area (m <sup>2</sup> )                     | 160                           |
| Conditioned floor area (m <sup>2</sup> )        | 129.0                         |
| Unconditioned floor area (m <sup>2</sup> )      | 112.0                         |
| Total area of garden and lawn (m <sup>2</sup> ) | 111                           |

| Assessor details and thermal loads                                |      |             |  |
|---|------|-------------|--|
| Assessor number   | n/a  |             |  |
| Certificate number  | n/a  |             |  |
| Climate zone  | n/a  |             |  |
| Area adjusted cooling load (MJ/m <sup>2</sup> /year)              | n/a  |             |  |
| Area adjusted heating load (MJ/m <sup>2</sup> /year)              | n/a  |             |  |
| Ceiling fan in at least one bedroom                               | n/a  |             |  |
| Ceiling fan in at least one living room or other conditioned area | n/a  |             |  |
| Project score   |      |             |  |
| Water   | 40   | Target 40   |  |
| Thermal Comfort   | Pass | Target Pass |  |
| Energy  | 50   | Target 50   |  |

BASIX Planning, Industry & Environment [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au) Version: 3.0 / DARWINIA\_3\_20\_0 Certificate No.: 13187325 Wednesday, 29 June 2022 page 2/9

#### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments  | Show on DA plans | Show on CC-CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| <b>Fixtures</b>  |                  |                              |                 |
| The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6.0 L/min plus spray force and/or coverage tests) in all showers in the development.  |                  |                              |                 |
| The applicant must install a water flushing system with a minimum rating of 4 star in each toilet in the development.  |                  |                              |                 |
| The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.   |                  |                              |                 |
| The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.   |                  |                              |                 |
| <b>Alternative water</b>   |                  |                              |                 |
| <b>Rainwater tank</b>  |                  |                              |                 |
| The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.                |                  |                              |                 |
| The applicant must configure the rainwater tank to collect rain runoff from at least 60 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). |                  |                              |                 |
| The applicant must connect the rainwater tank to:  |                  |                              |                 |
| - all toilets in the development   |                  |                              |                 |
| - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)   |                  |                              |                 |

BASIX Planning, Industry & Environment [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au) Version: 3.0 / DARWINIA\_3\_20\_0 Certificate No.: 13187325 Wednesday, 29 June 2022 page 3/9

| Thermal Comfort Commitments   | Show on DA plans | Show on CC-CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| <b>General features</b>   |                  |                              |                 |
| The dwelling must not have more than 2 storeys.   |                  |                              |                 |
| The conditioned floor area of the dwelling must not exceed 300 square metres.   |                  |                              |                 |
| The dwelling must not contain open mezzanine area exceeding 25 square metres.   |                  |                              |                 |
| The dwelling must not contain third level habitable attic room.   |                  |                              |                 |
| <b>Floor, walls and ceiling/roof</b>  |                  |                              |                 |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. |                  |                              |                 |

| Construction                                    | Additional insulation required (R-Value) | Other specifications                               |
|---|--|--|
| floor - concrete slab on ground                 | nil                                      |  |
| external wall - brick veneer                    | 1.86 (or 2.40 including construction)    |  |
| external wall - cavity brick                    | 0.50 (or 1.17 including construction)    |  |
| internal wall shared with garage - plasterboard | nil                                      |  |
| ceiling and roof - flat ceiling / pitched roof  | ceiling: 3.5 (up), roof: battbarking     | unventilated; medium (solar absorbance 0.475-0.70) |

Note: - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.  
Note: - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

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| Thermal Comfort Commitments   |                  |                              |                 |
|---|------------------|------------------------------|-----------------|
| Windows, glazed doors and skylights   | Show on DA plans | Show on CC-CDC plans & specs | Certifier check |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.  |                  |                              |                 |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.   |                  |                              |                 |
| The following requirements must also be satisfied in relation to each window and glazed door:   |                  |                              |                 |
| - For the following glass and frame types, the certifier check can be performed by visual inspection.   |                  |                              |                 |
| - Aluminium single clear  |                  |                              |                 |
| - Aluminium double low clear  |                  |                              |                 |
| - Timber/PVC/treglass single clear  |                  |                              |                 |
| - Timber/PVC/treglass double (air) clear  |                  |                              |                 |
| - For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. |                  |                              |                 |

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type                     | Shading Device (Dimension within 10%)                   | Overshadowing    |
|------------------------|---------------------|--------------------|--------------------------|---|------------------|
| <b>North facing</b>    |                     |                    |                          |   |                  |
| W1                     | 600                 | 3400               | aluminium, single, clear | eave 450 mm, 200 mm above head of window or glazed door | not overshadowed |
| W3                     | 900                 | 600                | aluminium, single, clear | eave 450 mm, 200 mm above head of window or glazed door | not overshadowed |
| W2                     | 2000                | 900                | aluminium, single, clear | eave 450 mm, 200 mm above head of window or glazed door | not overshadowed |
| W1B                    | 2000                | 1200               | aluminium, single, clear | eave 450 mm, 200 mm above head of window or glazed door | not overshadowed |
| W5                     | 900                 | 1500               | aluminium, single, clear | eave 450 mm, 200 mm above head of window or glazed door | not overshadowed |

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| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type   | Shading Device (Dimension within 10%)                              | Overshadowing    |
|------------------------|---------------------|--------------------|--|--|------------------|
| <b>West facing</b>     |                     |                    |  |  |                  |
| W10                    | 600                 | 1200               | aluminium, single, clear   | eave 450 mm, 200 mm above head of window or glazed door            | not overshadowed |
| W11                    | 1200                | 2100               | aluminium, single, clear   | eave 450 mm, 200 mm above head of window or glazed door            | not overshadowed |
| W9                     | 900                 | 1500               | aluminium, single, clear   | eave 450 mm, 200 mm above head of window or glazed door            | not overshadowed |
| <b>East facing</b>     |                     |                    |  |  |                  |
| SD2                    | 2400                | 2000               | U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tint Low-e) | eave 450 mm, 200 mm above head of window or glazed door            | not overshadowed |
| S03                    | 2400                | 2000               | U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tint Low-e) | eave 450 mm, 200 mm above head of window or glazed door            | not overshadowed |
| W1A                    | 2000                | 2300               | aluminium, single, clear   | solid overhang 1500 mm, 200 mm above head of window or glazed door | not overshadowed |
| <b>West facing</b>     |                     |                    |  |  |                  |
| W7                     | 1200                | 2100               | aluminium, single, clear   | eave 450 mm, 200 mm above head of window or glazed door            | not overshadowed |
| W6                     | 1200                | 2100               | aluminium, single, clear   | eave 450 mm, 200 mm above head of window or glazed door            | not overshadowed |
| SD1                    | 2400                | 3460               | aluminium, single, clear   | solid overhang 4000 mm, 200 mm above head of window or glazed door | not overshadowed |
| SD1                    | 2400                | 3460               | aluminium, single, clear   | solid overhang 4000 mm, 200 mm above head of window or glazed door | not overshadowed |

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| Energy Commitments  |                  |                              |                 |
|---|------------------|------------------------------|-----------------|
| Hot water   | Show on DA plans | Show on CC-CDC plans & specs | Certifier check |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.   |                  |                              |                 |
| <b>Cooling system</b>   |                  |                              |                 |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER > 3.0   |                  |                              |                 |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER > 3.0   |                  |                              |                 |
| <b>Heating system</b>   |                  |                              |                 |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER > 3.0   |                  |                              |                 |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER > 3.0   |                  |                              |                 |
| <b>Ventilation</b>  |                  |                              |                 |
| The applicant must install the following exhaust systems in the development:  |                  |                              |                 |
| At least 1 Bathroom: individual fan, ducted to lapale or roof. Operation control: manual switch on/off  |                  |                              |                 |
| Kitchen: individual fan, ducted to lapale or roof. Operation control: manual switch on/off  |                  |                              |                 |
| Laundry: natural ventilation only, or no laundry. Operation control: n/a  |                  |                              |                 |
| <b>Artificial lighting</b>  |                  |                              |                 |
| The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "fluorescent" appears, the fittings for these lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: |                  |                              |                 |
| - at least 4 of the bedrooms: study   |                  |                              |                 |
| - at least 2 of the living / dining rooms;  |                  |                              |                 |
| - the kitchen;  |                  |                              |                 |

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| Energy Commitments  |                  |                              |                 |
|---|------------------|------------------------------|-----------------|
| Energy Commitments  | Show on DA plans | Show on CC-CDC plans & specs | Certifier check |
| - all hallways;   |                  |                              |                 |
| <b>Natural lighting</b>   |                  |                              |                 |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.                |                  |                              |                 |
| The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. |                  |                              |                 |
| <b>Other</b>  |                  |                              |                 |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.                                |                  |                              |                 |
| The applicant must install a fixed outdoor clothes drying line as part of the development.                              |                  |                              |                 |

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### BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

#### Single Dwelling

Certificate number: 13187425

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the specifications set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Wednesday, 29 June 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project summary           |                               |             |  |
|---------------------------|-------------------------------|-------------|--|
| Project name              | 22-047 UNIT 2                 |             |  |
| Street address            | 100 The Avenue Bankstown 2000 |             |  |
| Local Government Area     | Canterbury-Bankstown Council  |             |  |
| Plan type and plan number | Deposited 61439               |             |  |
| Lot no.                   | -                             |             |  |
| Section no.               | -                             |             |  |
| Project type              | attached dwelling house       |             |  |
| No. of bedrooms           | 4                             |             |  |
| Project score             |                               |             |  |
| Water                     | 40                            | Target 40   |  |
| Thermal Comfort           | Pass                          | Target Pass |  |
| Energy                    | 50                            | Target 50   |  |

| Certificate Prepared by |                   |
|-------------------------|-------------------|
| Name / Company Name:    | Five Star NETHERS |
| ABN (if applicable):    | 25033080585       |

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### Description of project

| Project address                                 |                               |
|---|-------------------------------|
| Project name                                    | 22-047 UNIT 2                 |
| Street address                                  | 100 The Avenue Bankstown 2000 |
| Local Government Area                           | Canterbury-Bankstown Council  |
| Plan type and plan number                       | Deposited Plan 61439          |
| Lot no.   | C                             |
| Section no.                                     | -                             |
| Project type                                    |                               |
| Project type                                    | attached dwelling house       |
| No. of bedrooms                                 | 4                             |
| Site details                                    |                               |
| Site area (m <sup>2</sup> )                     | 319                           |
| Roof area (m <sup>2</sup> )                     | 160                           |
| Conditioned floor area (m <sup>2</sup> )        | 129.0                         |
| Unconditioned floor area (m <sup>2</sup> )      | 17.0                          |
| Total area of garden and lawn (m <sup>2</sup> ) | 111                           |

| Assessor details and thermal loads                                |      |             |  |
|---|------|-------------|--|
| Assessor number   | n/a  |             |  |
| Certificate number  | n/a  |             |  |
| Climate zone  | n/a  |             |  |
| Area adjusted cooling load (MJ/m <sup>2</sup> /year)              | n/a  |             |  |
| Area adjusted heating load (MJ/m <sup>2</sup> /year)              | n/a  |             |  |
| Ceiling fan in at least one bedroom                               | n/a  |             |  |
| Ceiling fan in at least one living room or other conditioned area | n/a  |             |  |
| Project score   |      |             |  |
| Water   | 40   | Target 40   |  |
| Thermal Comfort   | Pass | Target Pass |  |
| Energy  | 50   | Target 50   |  |

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#### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments  | Show on DA plans | Show on CC-CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| <b>Fixtures</b>  |                  |                              |                 |
| The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6.0 L/min plus spray force and/or coverage tests) in all showers in the development.  |                  |                              |                 |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.   |                  |                              |                 |
| The applicant must install basin taps with a minimum rating of 4 star in the kitchen in the development.   |                  |                              |                 |
| The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.   |                  |                              |                 |
| <b>Alternative water</b>   |                  |                              |                 |
| <b>Rainwater tank</b>  |                  |                              |                 |
| The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.                |                  |                              |                 |
| The applicant must configure the rainwater tank to collect rain runoff from at least 60 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). |                  |                              |                 |
| The applicant must connect the rainwater tank to:  |                  |                              |                 |
| - all toilets in the development   |                  |                              |                 |
| - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)   |                  |                              |                 |

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| Thermal Comfort Commitments   | Show on DA plans | Show on CC-CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| <b>General features</b>   |                  |                              |                 |
| The dwelling must not have more than 2 storeys.   |                  |                              |                 |
| The conditioned floor area of the dwelling must not exceed 300 square metres.   |                  |                              |                 |
| The dwelling must not contain open mezzanine area exceeding 25 square metres.   |                  |                              |                 |
| The dwelling must not contain third level habitable attic room.   |                  |                              |                 |
| <b>Floor, walls and ceiling/roof</b>  |                  |                              |                 |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. |                  |                              |                 |

| Construction                                    | Additional insulation required (R-Value) | Other specifications                               |
|---|--|--|
| floor - concrete slab on ground                 | nil                                      |  |
| external wall - brick veneer                    | 1.86 (or 2.40 including construction)    |  |
| external wall - cavity brick                    | 0.50 (or 1.17 including construction)    |  |
| internal wall shared with garage - plasterboard | nil                                      |  |
| ceiling and roof - flat ceiling / pitched roof  | ceiling: 3.5 (up), roof: battbarking     | unventilated; medium (solar absorbance 0.475-0.70) |

Note: - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.  
Note: - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

BASIX Planning, Industry & Environment [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au) Version: 3.0 / DARWINIA\_3\_20\_0 Certificate No.: 13187425 Wednesday, 29 June 2022 page 4/9

| Thermal Comfort Commitments   |                  |                              |                 |
|---|------------------|------------------------------|-----------------|
| Windows, glazed doors and skylights   | Show on DA plans | Show on CC-CDC plans & specs | Certifier check |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.  |                  |                              |                 |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.   |                  |                              |                 |
| The following requirements must also be satisfied in relation to each window and glazed door:   |                  |                              |                 |
| - For the following glass and frame types, the certifier check can be performed by visual inspection.   |                  |                              |                 |
| - Aluminium single clear  |                  |                              |                 |
| - Aluminium double low clear  |                  |                              |                 |
| - Timber/PVC/treglass single clear  |                  |                              |                 |
| - Timber/PVC/treglass double (air) clear  |                  |                              |                 |
| - For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. |                  |                              |                 |

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | Overshadowing</ |
|------------------------|---------------------|--------------------|------|---------------------------------------|-----------------|
|------------------------|---------------------|--------------------|------|---------------------------------------|-----------------|





PLANS BY...



perras design group

(02) 8005 1000



 PLANS BY...  
**perras design group**

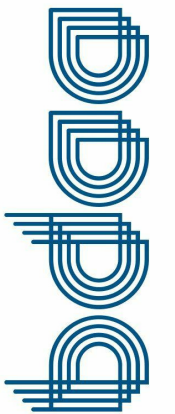
DESIGN PLANS + APPROVE + CONSTRUCT

dvyne design 

Suite 6, 92 Bathurst Street,  
Liverpool NSW 2170  
Office - (02) 8005 1000

[www.perrasdesigngroup.com.au](http://www.perrasdesigngroup.com.au)  
[www.dvynedesigns.com](http://www.dvynedesigns.com)

PETER PERRAS - DIRECTOR - Mobile 04041 507 259  
BDA Aust Accreditation No. 6639  
Design Practitioner Registration No. DEP0001985



ACCREDITED  
BUILDING DESIGNER

JOB DESCRIPTION

PROPOSED ATTACHED DUAL  
OCCUPANCY

AT

3A ASTER AVE, PUNCHBOWL

DRAWING TITLE

3D DRAWING

CLIENT DETAILS

HASSAN KAMMOUN

GENERAL NOTES

DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL  
DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST  
BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY  
COMMENCEMENT OF ANY BUILDING WORKS ON SITE, TO CLARIFY  
ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND  
DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS.  
GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.  
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ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED  
WITHOUT WRITTEN CONSENT.

| DRAWN         | M.N     | ISSUE | AMENDMENT     | BY  | DATE   |
|---------------|---------|-------|---------------|-----|--------|
| DATE          | SEP.22  | A     | DA SUBMISSION | P.P | SEP.22 |
| CHECKED       | P.P     |       |               |     |        |
| SCALE         | 1:100   |       |               |     |        |
| JOB NUMBER    | 2257-00 |       |               |     |        |
| NUMBER IN SET | 09      |       |               |     |        |
| ISSUE         | A       |       |               |     |        |